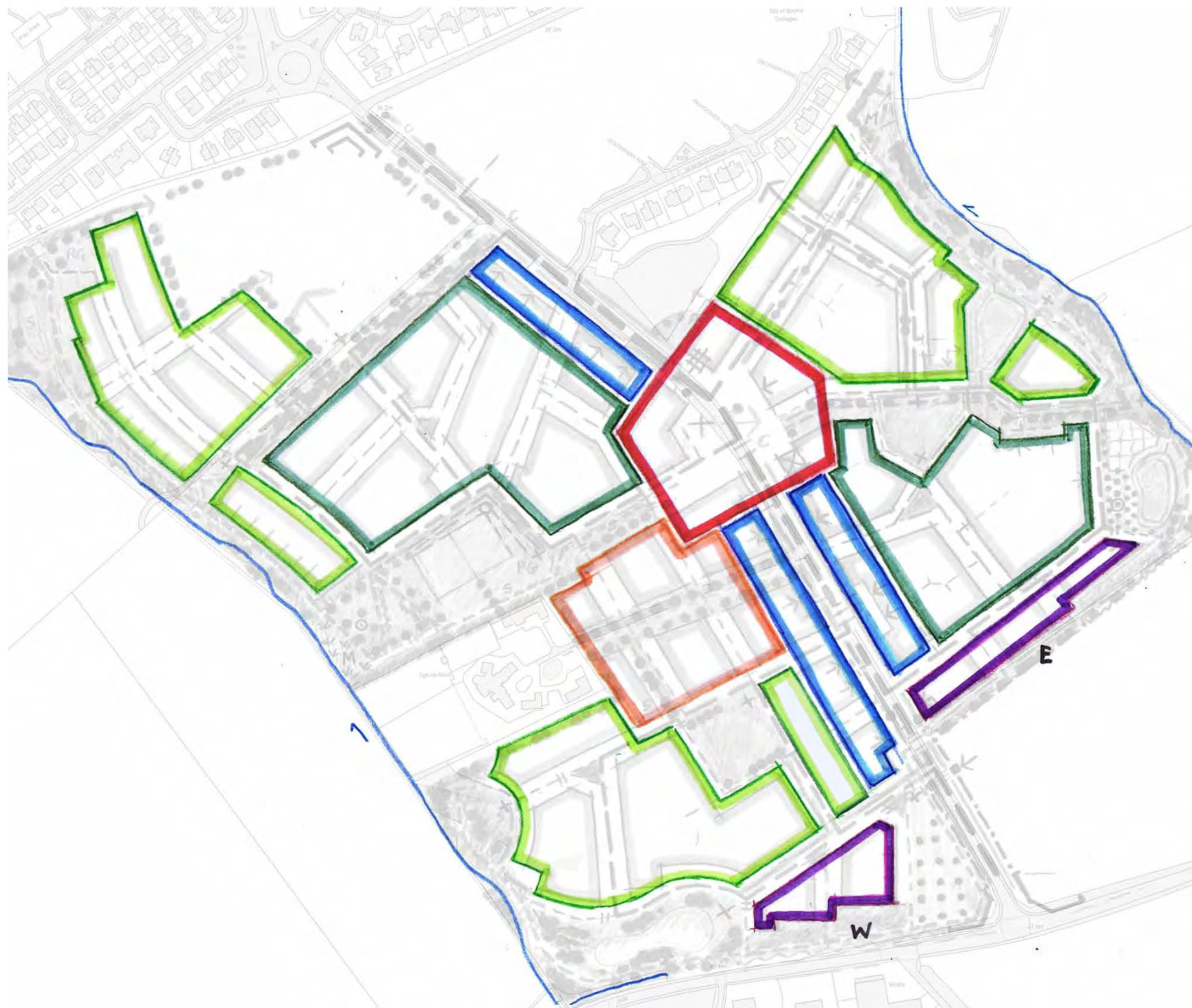




Buckie South Character Area Manual | July 2022



- LEGEND
- Summerton Square
 - Barhill Avenue
 - The Courtyard
 - The Heartlands
 - Garden Villages
 - The Gables

Figure 34 - Rev A
 Character Areas
 1:2,500 @ A3

9.0

Character Areas - Overview

This section provides details of a number of varying character areas to the Buckie South development which will aid placemaking, give a distinctive feel via different materials and landscape features to draw out differing elements of the phases which make up the site and the constituent homes with them. These are intended to give overarching guidance on architectural character and built-form for these areas to meet MC Placemaking PP1 policy requirements. The aim is to identify areas and zones across the larger site with which a broad range of materials and styles sympathetic to the local character will emerge. The areas are therefore drawn to capture both sides of streets and catch those areas which have a common relationship to adjacent open space or are an identifiable phase in itself. Six key character areas have been identified, these areas have been developed as a response to the existing landscape, topography, and the location within the development. They must inform the detail layout of these areas, the character of open space, the palette of materials and architecture in each area.

The various Buckie South character areas shall be designed to ensure distinctiveness and differentiation between them and within each of them, recognising the policy requirements of PP1 Placemaking. Alongside the character areas palette which focuses on external finishes and soft landscaping there will be considerable variation within each character area in terms of design of individual buildings, boundary treatments and varied architectural features. Variation will be in the colour palette for the houses and street surfaces as well. The various key buildings that will be located within each character area will also ensure that distinctiveness is reinforced by accentuating features, materials and colours. Dedicated detailed Placemaking Statements will be submitted with each detailed Planning Application which will demonstrate how that will be achieved.

SUMMERTON SQUARE



‘Summerton Square’

Providing a hub for the community, the square will be a vibrant inviting central meeting place. Public art themed from the Buckie fishing heritage will create a focal point within the square, complemented with a variety of landscaping materials, raised planting beds and public seating areas.

BARHILL AVENUE



‘Barhill Road Frontage’

The gateway into Buckie from the west; this tree lined avenue will provide a leafy green approach into the town and with strong cycle and pedestrian links, which will encourage activity and communication which will promote reduced traffic speeds.

THE COURTYARD



‘The Courtyard’

This intimate ‘cottage style’ character area will provide quiet discrete housing areas with easy access to public amenity spaces. Splashes of red and orange will create interest and colour into the open spaces.

HEARTLANDS



‘Heartlands’

Encouraging residents to make use of open spaces, playing field and allotments, the Heartlands are located adjacent to amenity and landscaped areas. A cherry orchard to the east sets the scene for streets of pink blossom in early summer through the character area.

GARDEN VILLAGES



‘Garden Villages’

Located on the green edges of the masterplan area, Garden Villages provides residents with opportunities for woodland walks. Meadowlands with wild flowers and marginal planting on wetlands encourage wildlife and biodiversity.





THE GABLES





‘The Gables’

With a south facing aspect, The Gables provides a gateway feature, visible from the A98 road. The use of cladding and stone on the gables pay homage to Buckie boatyards and the nearby distillery pagoda style roofs and gables.

Character Area Overview and Historical Referencing in Buckie

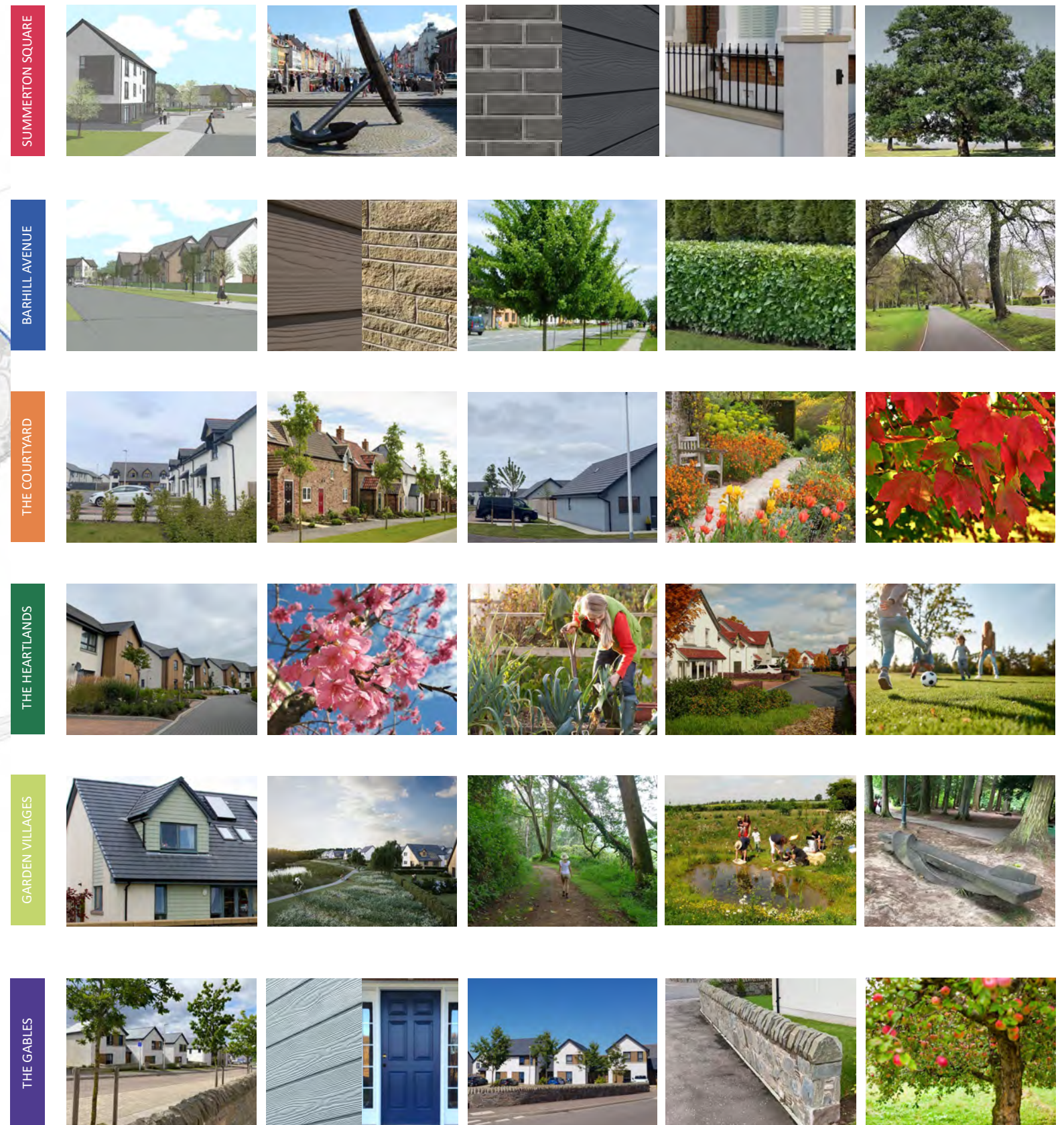
CHARACTER AREA	FORM & FUNCTION	KEY COMPONENTS	HARD MATERIALS	SOFT	HISTORIC BUCKIE REFERENCES / LOCATIONS	KEY REFERENCES
 SUMMERTON SQUARE	<ul style="list-style-type: none"> • Neighbourhood hub; • Connecting space; • Traffic Calming; • Commercial focus 	<ul style="list-style-type: none"> • Prominent buildings; • Meeting Place; • Formal landscape focus; • Public art; • Higher density; • Commercial units in key buildings; • Active frontages; • Large feature tree 	<ul style="list-style-type: none"> • Light and dark grey facing brick and paving; • Contemporary furniture; • Wall and/or railing boundaries; • 2D and 3D public art with Buckie fishing theme 	<ul style="list-style-type: none"> • Semi-mature tree(s); • Formal shrub beds; • Year round colour and interest; • Formal lawns and verges; • High maintenance; • Large feature tree 	<ul style="list-style-type: none"> • Cluny Square • St Andrews Square <p>These civic spaces form the basis of social and economic lifeblood of the town. The Square will be the heart of the community for meeting, connecting, trading and working together;</p>	<ul style="list-style-type: none"> • Town focus; • Key buildings focussed on the square; • Hard landscape focus; • Taller buildings • Focused public realm
 BARHILL AVENUE	<ul style="list-style-type: none"> • Living Main Street; • Connectivity to Buckie; • Connectivity east/west; • Traffic calmed corridor; • Soft edge framing the street; • Integrated active travel routes; • Connectivity to secondary streets and paths 	<ul style="list-style-type: none"> • Medium density; • Range of house types; • Varied building lines; • Active frontages; • Key corner buildings; • Tree lined corridor; • Broad green verges; • Segregated lanes and paths to housing areas 	<ul style="list-style-type: none"> • Masonry and render finish; • Feature cladding including timber; • Variety of colours to add to vibrant street scene; • Low and medium height walls; • Medium height railings 	<ul style="list-style-type: none"> • Layered soft landscape; • Semi-mature trees to form dual avenue; • Formal hedges; • Linear shrub beds; • Bulb planting; • Green verges - grass / shrubs inc SUDS 	<ul style="list-style-type: none"> • West Church Street (west section) • East Church Street (east section) • High Street (mid and south section) <p>These important arterial streets are the principal thoroughfares with a strong relationship between buildings and the street. Barhill Avenue to echo these places.</p>	<ul style="list-style-type: none"> • Wide range of house types and front garden depths; • Prominent buildings and returns narrowing the street; • Green verges / separation of roads; • Primary frontages over main street; • Range of boundaries
 THE COURTYARD	<ul style="list-style-type: none"> • Intimate street scene clusters; • Courtyards with soft landscaping providing discrete vehicular parking with natural surveillance; • Secure streets framed by active frontages and dual aspect houses 	<ul style="list-style-type: none"> • Medium density, cottage style living; • Hard landscape and courtyard focus; • Soft landscape edging with cottage gardens and low hedges; • Path links 	<ul style="list-style-type: none"> • Small element paving focus to streets / lanes; • Facing brick and render finishes, grey and cream tones; • Re-con stone accents; • Limited street furniture as intimate public realm 	<ul style="list-style-type: none"> • Specimen lower growing trees; • Linear shrub / herbaceous front gardens and low hedges; • Orange, red, yellow accent colour plants; • Year round colour and textures 	<ul style="list-style-type: none"> • Richmond Street, Gordonsburgh; • Manor Street, Gordonsburgh; • Aboyne Street, Gordonsburgh; • George Street, Portessie <p>Planned grid layout with dense network of streets and lanes. Compact houses and gardens. Higher density core and space.</p>	<ul style="list-style-type: none"> • Tight, intimate street scenes; • Single vehicular access; • Path links to a green network
 THE HEARTLANDS	<ul style="list-style-type: none"> • Housing related to parks and green network as well as tree lined active travel routes; • Range of house types; • A connecting character area; • Tree planting in public and private realm 	<ul style="list-style-type: none"> • Medium density; • Primary elevations overlook green network; • Plot variations with range of garden sizes; • Variety of house types; • Building lines reinforce key views; • Garden tree planting; • Verges; • Distinct street hierarchy, fully serviceable 	<ul style="list-style-type: none"> • Low walls to garden plots; • Wet dash render, timber cladding and red roofs; • Masonry accents; • Low walls and railings used to define gardens and in parks and open spaces 	<ul style="list-style-type: none"> • Street tree planting with in-garden trees; • Medium / low hedges to gardens; • Ornamental street planting contrasts with native species based parkland and 'outer ring' native planting mixes 	<ul style="list-style-type: none"> • Duguid street and West Cathcart Street, 'Newton'; • West Street; • South Land Street; • Queen Street Park; • Ian Johnston Park <p>Medium density interlinked with greenspaces and parks. Leafy streets and verges. Larger gardens and varied housing types.</p>	<ul style="list-style-type: none"> • Green verges; • Range of house types and homes fronting parks; • Tight streets with green relief; • Green verges / tree planting / private lanes; • Park forming focal point to the street and link to river corridor landscape; • Formal integrated park with street frontages overlooking

CHARACTER AREA	FORM & FUNCTION	KEY COMPONENTS	HARD MATERIALS	SOFT	HISTORIC BUCKIE REFERENCES / LOCATIONS	KEY REFERENCES
 GARDEN VILLAGES	<ul style="list-style-type: none">• Edge of settlement locations;• Relate to surrounding countryside;• Outward looking;• Green network contrasting towards more naturalistic landscapes;• Outer ring path network and connections;• Inner edge connected to more formal green network inc. active travel	<ul style="list-style-type: none">• Medium to low density - 1-2 storey;• Frontages to the green network inc dual aspect housing (E & W);• Broad range of house types and streets;• Native species based, integrated and enhanced river corridor landscapes• Edge of neighbourhood SUDS basin landscapes	<ul style="list-style-type: none">• Render and wet dash finishes;• Timber and masonry accents;• Public art reflecting more organic / natural characteristics;• Street finishes to include asphalt and small element paving with asphalt paths supported by self bound gravel routes (not active) and timber furniture	<ul style="list-style-type: none">• Outer green ring native species based landscape;• Formal planting to parks;• Orchard;• Longer garden plots to edge of site;• Ornamental species used in street scenes with hedges to primary garden boundary;• Garden planting of lower growing trees	<ul style="list-style-type: none">• Blantyre Terrace, Ianstown;• Rathven;• Queen Street;• Seaview Road, Buckpool;• New Street and Mid Street, Seatown <p>Organic more expansive spaces and greens. The site will reflect these on its edges.</p>	<ul style="list-style-type: none">• Edge of 'village' dual aspect houses and gardens;• Countryside edge interface;• Village edge with park and Burn of Buckie;• Larger houses;• Raised 'village' edge;• Elevated 'village' edge to coastal landscape
 THE GABLES	<ul style="list-style-type: none">• Edge of 'villages' location;• Dual aspect;• Strong reference point;• Southern edge to Buckie;• Part of gateway opportunity;• Visible edge	<ul style="list-style-type: none">• Medium to high density with up to 3 storeys;• Strong gable feature to define this character area;• Intimate courtyard setting between linear 'blocks' of housing;• Lanes and paths;• Soft edge but not fully woodland;• Range of house types set out on a north - south (NW-SE) axis;• Dual aspect buildings	<ul style="list-style-type: none">• Medium height masonry walls to connect to buildings;• Blue / grey masonry with render / wet dash accents and timber panels;• Feature gable roof lines to southern edge to reflect the distillery pagodas;• Small element paving and asphalt lanes / paths;• Low key furniture / metal painted finish	<ul style="list-style-type: none">• Shared surfaces edged by planting strips and cottage gardens to help soften car parking etc;• Tree planting limited to public areas;• Low trimmed hedges to define small front gardens;• Accent colours in planting to be purples, blue and wine shades	<ul style="list-style-type: none">• Bridge Place, Yardie / Seatown• Inchgower Distillery <p>Gateway to town and the focal points of the former villages. These will have taller buildings to reinforce sense of arrival and distinguishing place.</p>	<ul style="list-style-type: none">• Distinctive gables and long house features to Buckie North;• Traditional and contemporary styling;• Striking feature• Pagoda features and gables create a sense of scale that Buckie South's southern edge can adopt• Gables and pagodas combined to create a strong gateway to Buckie

9.0



Extract of figure 50 Character Areas - Rev A



9.0 Summerton Square

The name Summerton Square is taken from a Buckie Drifter which was skippered by George Murray who resided at Ianstown, Buckie. Street naming for Buckie South will also reference Buckie fishing heritage, local fishing boats and their skippers.

COLOUR
THEME



The Square will be defined by 2 and 3 storey buildings and hard landscaping to provide an area with activity and interest on the western gateway to Buckie. Public spaces, retail/ commercial opportunities, public art and seating areas will contribute to create a central hub for the masterplan, which will help slow traffic. Pedestrian and cycle links from east/west across the square will encourage connectivity between developable areas on the east and west of Barhill Road. A variety of materials, hard and soft landscaping will create an interesting focal point to the development and a central meeting place for all residents.



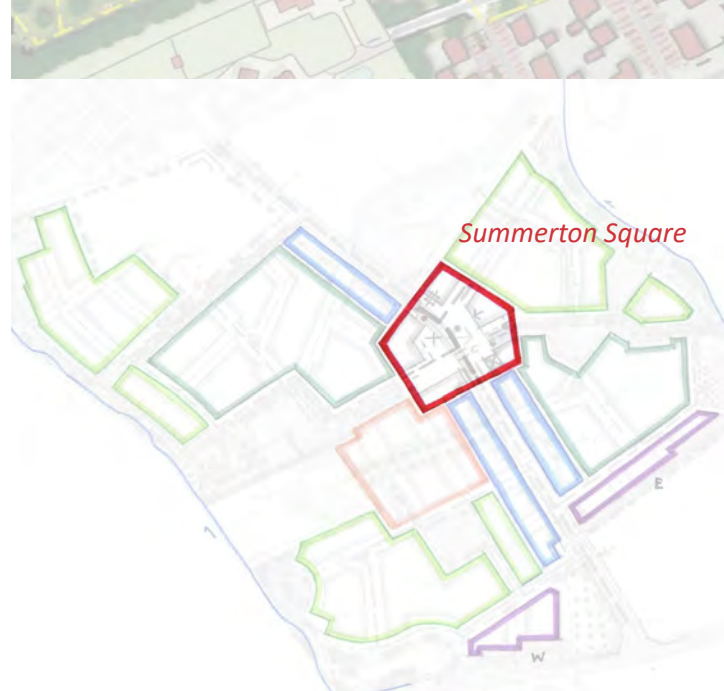
View of Summerton Square looking south towards Barhill Road



Example of ground floor retail unit



Buckie fishing heritage themed public art



Historical Reference - Cluny Square



Public Square to create meeting place



Example of outdoor seating



Example of colour paving and outdoor seating

9.0 Summerton Square



Urban Design Principles

Key Buildings Key features & viewpoint locations



Frontages and Key Buildings

Key Frontages Key Corners/Buildings

Key Buildings

- Key buildings will include:

Higher density neighbourhood core taking references from Cluny Square and St Andrews Square.

Commercial premises to be provided on the ground floor of key buildings in the Square (see figure 37, page 24 volume 02 for details and locations)

Central Public Art feature relating to Buckie fishing heritage

Key buildings creating the edge of the square

Taller 3 storey buildings and their grouping/ relationship to the road frontage will provide a focal point and definition to the Square and also act as vista stopper buildings terminating the views from north and south along Barhill Road.

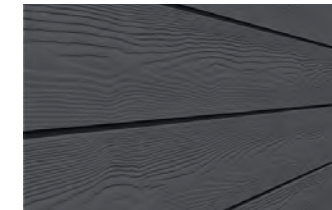
Feature materials on key buildings facing the square to be grey brick and slate grey cedar cladding

Street Design, Frontages and Boundaries

- Summerton Square will have active frontages to define the public realm and all edges of the public space.
- Summerton Square will become a hub for the new development and be an area of activity which in turn will help reduce traffic speed on Barhill Road.
- Boundaries around the square to be robust materials such as walls and railings at key frontages.
- Landscaping to be a mix of hard and soft landscaping.
- Metal themed street furniture to reference the fishing heritage of Buckie.
- Change in roof pitch and orientation on key buildings, together with changes in building heights and external materials/features will provide residents and visitors with a navigational aid when orientating themselves within Summerton Square.



Dark grey facing brick



Slate grey cedar cladding



Dark Grey paving with public art feature



Buff Paving



Charcoal grey paving



Feature wall and railings



Feature tree - English Oak



Specimen trees - Paper Birch



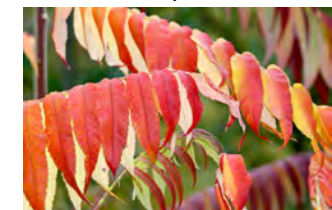
Low specimen shrubs - New Zealand flax (Year round colour)



Low specimen shrubs - New Zealand flax (Year round colour)



Shrub Planting - Rock Rose (Summer)



Tall specimen shrubs - Staghorn (Autumn)

COLOUR
THEME

9.0 Barhill Avenue

COLOUR
THEME



Barhill Avenue will provide a tree-lined avenue into Buckie and will help create an interesting and attractive western gateway. Medium density housing facing Barhill Road will provide natural surveillance and activity and the pedestrian/ cycle routes will form part of the green edges to this street. Hedges and low walls will define public and private spaces and a variety of external materials and colours will provide distinction to this street. Leafy green travel routes crossing Barhill Road will connect public and recreational spaces east and west this will contribute towards speed reduction on the gateway approach to the town.



View of Barhill Road looking north towards Summerton Square



Front garden hedge boundaries



Tree lined street



Hedges defining garden boundaries

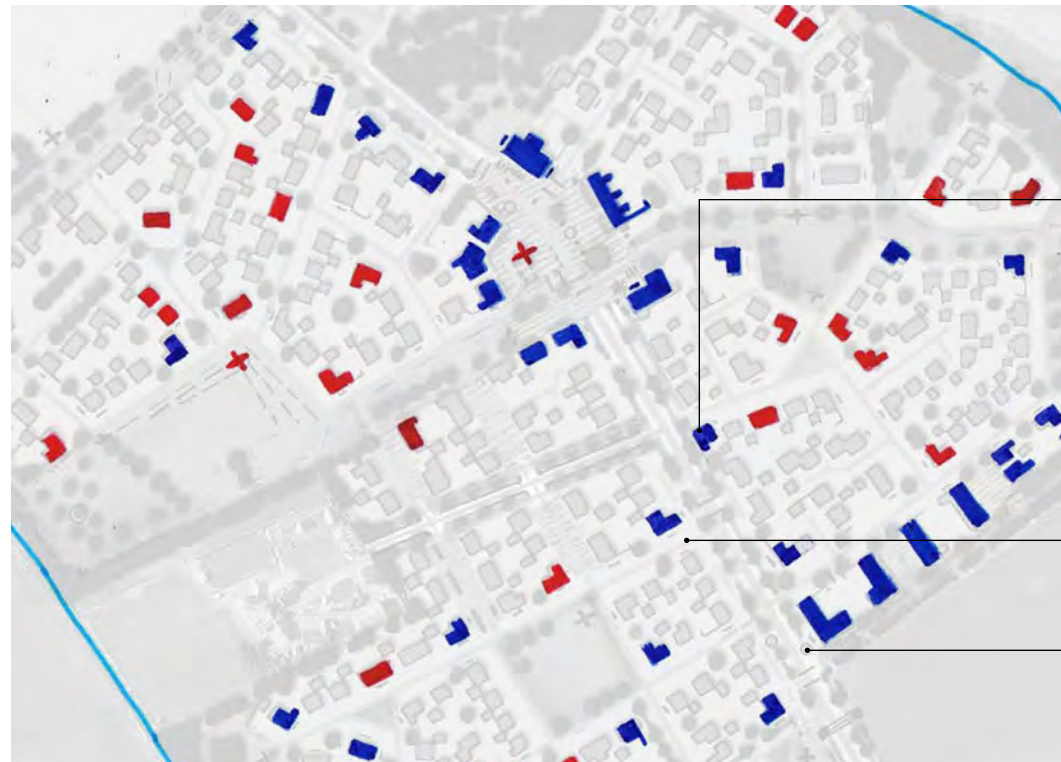


Landscape buffer between paths and side of the street



Cupar terrace housing with buff stone frontage

9.0 Barhill Avenue



Urban Design Principles

Key Buildings Key features & viewpoint locations



Frontages and Key Buildings

Key Frontages Key Corners/Buildings

Key Buildings

- Key buildings will include:

Key buildings will be differentiated by the use of contrasting materials and colours (e.g. Buff Anstone) along with contrasting door colours making them distinct to other buildings.

Buildings fronting Barhill Avenue will be finished with similar materials /colours to key buildings to provide a consistent frontage on the new gateway into Buckie.

Varied building line to create enclosure and reference points and groupings in the street

Crossing facilities will be provided at key locations to improve east- west connectivity.

Street Design, Frontages and Boundaries

- A strong frontage to be created through a number of elements including 1.5 and 2 storey terrace, linked semi-detached and detached housing, and boundary treatments.
- Active frontage Barhill Road street scene taking reference from West Church Street.
- Key buildings in the Summerton Square provide a focal point while travelling along the road and also act as vista stoppers terminating the views from north and south along Barhill Road
- White render finish with coloured render feature panels, cedral cladding accents, and buff anstone.
- Boundaries to front gardens within this area should be predominately low walls and formal medium height hedges.
- 1.5m high masonry walls and 1.8m high fences,(or wall with fence on top) to be incorporated into back and side gardens for noise attenuation.
- Layered soft landscape set off Barhill Road will be used to soften the hard landscape and define plots, driveways and parking areas etc.
- Preference for fully integrated and operational tree lined SuDS features designed into the street scene providing a buffer to paths on either side of the street.
- Parking on frontage to be minimum with majority of parking behind the build line and/or in small rear parking courts which have good natural surveillance.



Buff anstone external wall



Taupe cedral cladding



Keyblok brindle paving



Buff feature wall



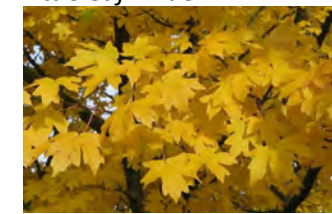
English Laurel hedge



Street tree - Greenspire Littleleaf Linden



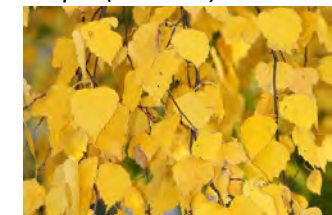
Specimen trees - Field Maple (Summer)



Specimen trees - Field Maple (Autumn)



Shrub Planting - Japanese sedge (evergreen)



Feature trees - Silver Birch (Autumn)



Shrub Planting - Rock Rose (summer)

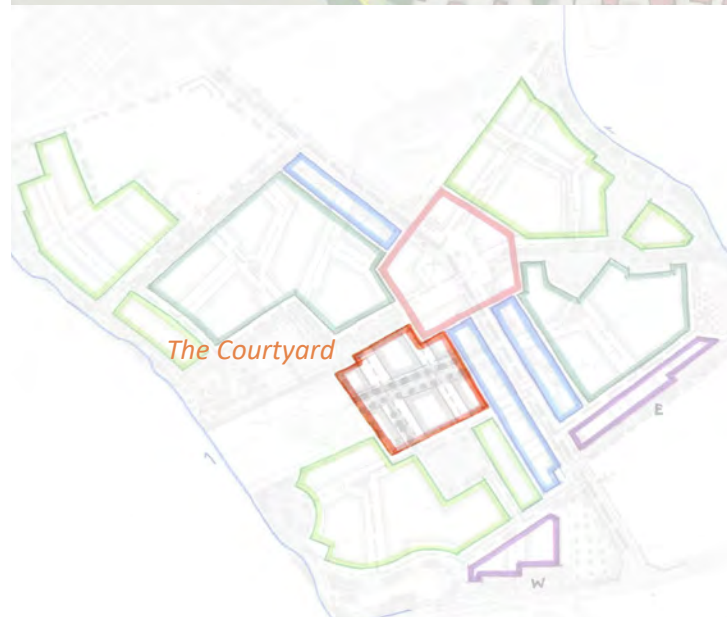


Shrub Planting - Dogwood (Autumn)

COLOUR
THEME

9.0 The Courtyard

COLOUR
THEME



Historical Reference - George Street, Portessie

This medium density character area provides the opportunity for an intimate 'cottage style' development area, with hedge lined private gardens. Courtyard parking areas and hard landscaped public areas are edged and softened with a variety of trees and hedges. Maple trees provide strong autumn colours in contrast to summer greens and shrubs in this area are hot reds and oranges providing all year round colour and interest.



Tree lined streets with small cottage style gardens



Courtyard side /rear parking



Informal Seating Spaces



Courtyard parking landscape mitigation with natural surveillance

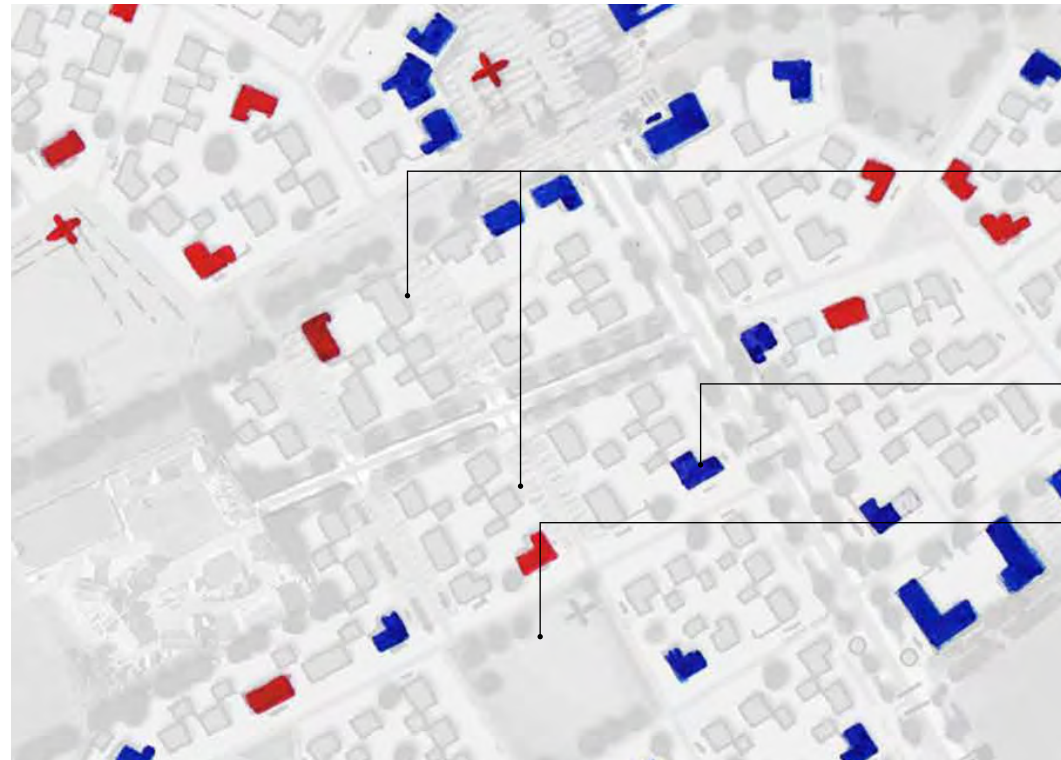


Opportunity for Terrace Housing



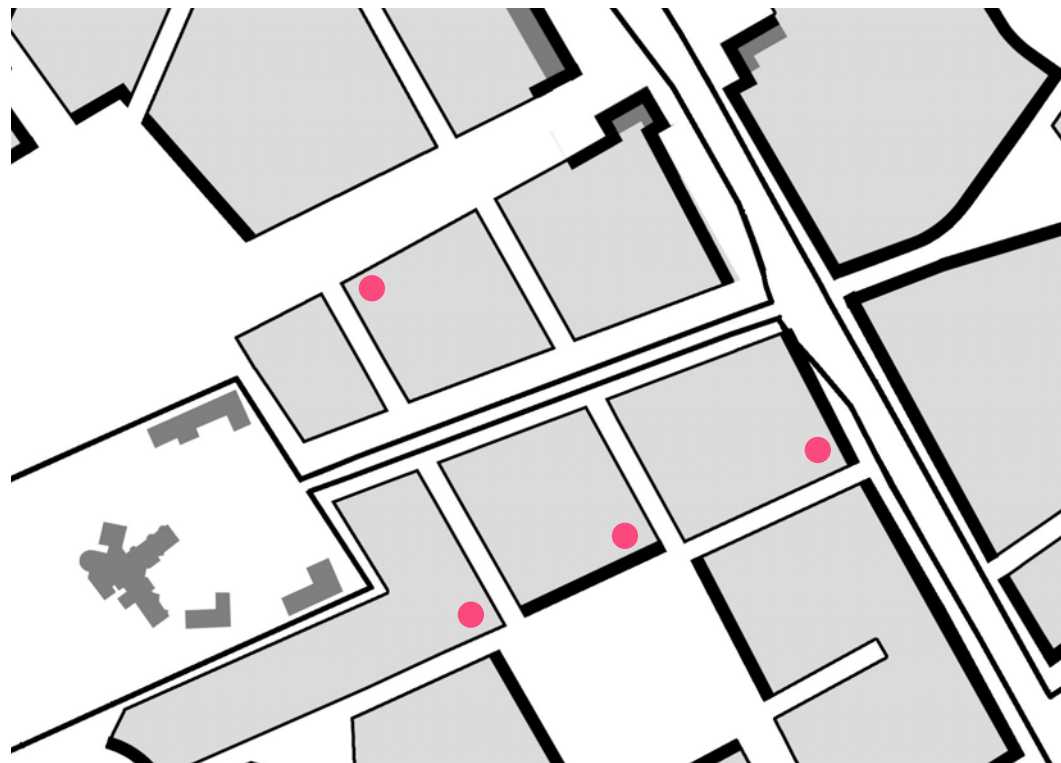
Courtyards finished with red pavours

9.0 The Courtyard



Urban Design Principles

■ Key Buildings
 ■ Vista Stoppers
 ✕ Key features & viewpoint locations



Frontages and Key Buildings

■ Key Frontages
 ● Key Corners/Buildings

Key Buildings and Vista Stoppers

- Key buildings and vista stoppers will include:

Medium to higher density clusters set out along lanes finished with tarmac and red pavours.

Character area to include terraced housing, linked/ semi detached, and detached houses of 1.5 and 2 storeys.

Key buildings will be dual-fronted with distinguished material finishes including larger areas of red brick and contrasting external door colours.

Key frontages to open space

Vista stoppers will be differentiated through design, materiality, and colours that make them a standalone feature buildings.

Street Design, Frontages and Boundaries

- The Courtyard will create an feel of intimate streetscapes with a hard landscape focus using small element paving and a soft landscape fringe to garden boundaries using beech hedge. Boundaries with amenity space to have red brick or buff stone walls.
- Opportunity for Cottage/'Colonies' style dwelling taking reference from George Street, Portessie but with small cottage gardens defining plot frontages creating a feel of courtyards.
- Low traffic speed through use of paving materials and natural surveillance
- Soft landscaping creating year round colours and interest for residents.
- Car parking behind build lines (to PP1 and DP1) within small to medium sized courtyards will feature within this area, with parking bays and soft landscaping providing discrete vehicular parking with natural surveillance.
- Variation in colours of external door colours (including garages). Red doors to be used in this character area with variation in colours to be provided between key buildings/vista stoppers and the remainder of the houses in the character area.
- External materials to buildings to include red brick, white and buff render with buff stone feature boundary walls. Building features to be finished with taupe cedral cladding.



Red brick



Buff stone walls



Buff roughcast



Taupe cedral cladding



Keyblok brindle paving



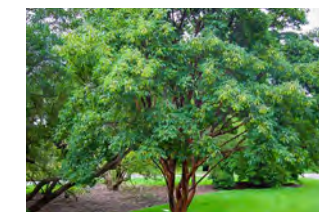
Red Doors



Spring bulb planting



Beech hedge (Autumn)



Specimen trees - Paper Bark Maple (Summer)



Specimen trees - Paper Bark Maple (Autumn)



Feature Tree - Copper Beech Tree (Summer)



Shrub Planting -Salvia Royal Bumble (Summer)

COLOUR
THEME

9.0 The Heartlands

COLOUR
THEME



Historical Reference - Duguid Street at
Ian Johnston Park, Buckie

The Heartlands Character Area covers 2 locations on the east and west side of Barhill Road that provides medium density housing linked to public open spaces and recreational areas by strong leafy green travel connections. Formal hedges define private and public spaces and a well structured street scene creates a vibrant community spirit with easy access to open spaces for leisure and play, including allotments, gardens and an orchard. A variety of external finishes include wet dash, timber cladding and red roofs provide interest and distinction to these areas. Open spaces and outer edges are framed by soft landscaping of native species. Early summer burst of pink in the cherry and fruit orchard is complemented by soft white and pink flowering shrubs in the open amenity spaces.



Green Streets and Landscaping Opportunities



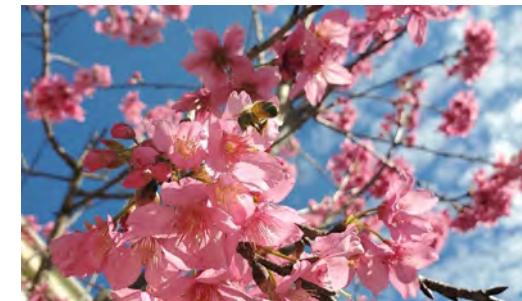
Allotments



Kickabout area



Natural play area



Cherry Blossom Trees



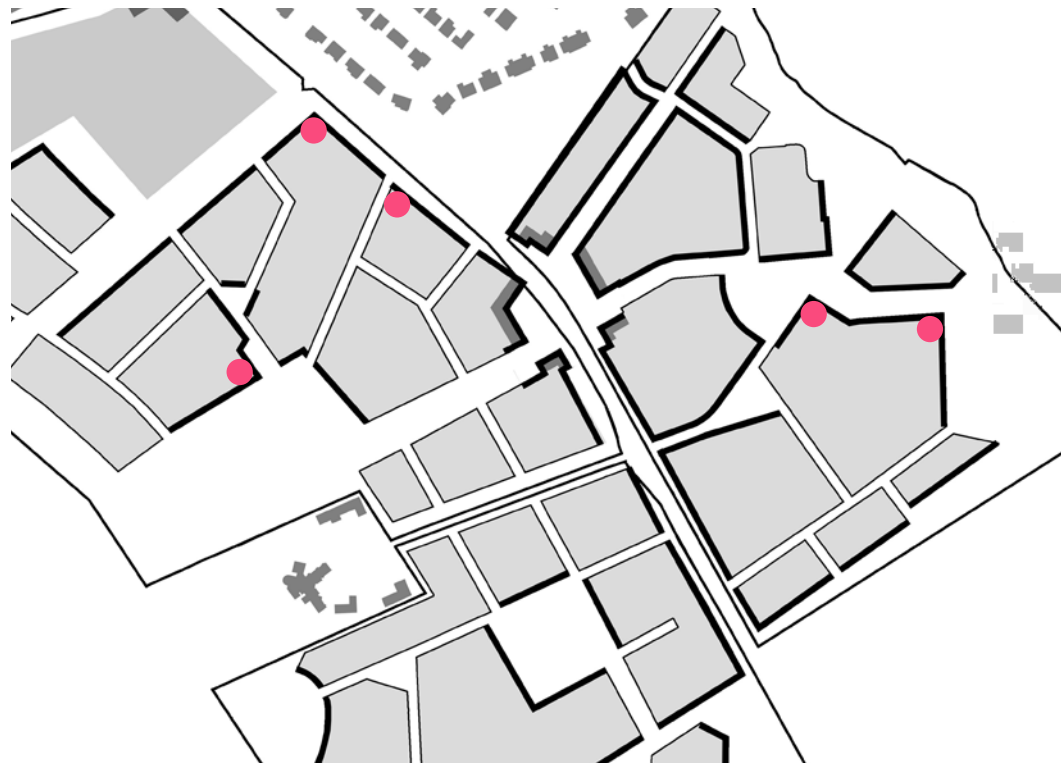
Shared drives

9.0 The Heartlands



Urban Design Principles

■ Key Buildings
 ■ Vista Stoppers
 X Key features & viewpoint locations



Frontages and Key Buildings

■ Key Frontages
 ● Key Corners/Buildings

Key Buildings and Vista Stoppers

- Key buildings and vista stoppers will include:

Formal tree lined frontage to 'Green Avenue' with view of Bin Hill and backdrop view from all open spaces.

Key corner buildings and vista stoppers will have a dominant focus onto the neighbourhood park with a distinct frontage providing a focal point in the area.

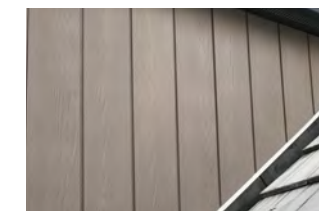
Predominately 1.5 and 2 storey dwellings with key buildings and vista stoppers distinct with timber, masonry accents and red roofs in some areas for distinction.



Red roofs



White wet dash



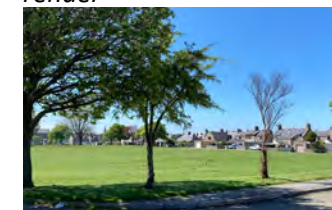
Taupe cedar cladding



White and Fintry Stone render



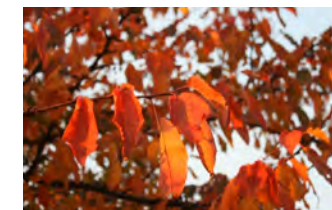
Keyblok vintage burnt ochre paving



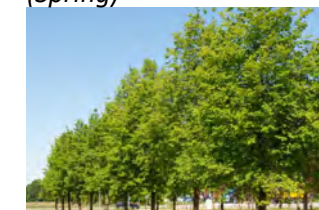
Neighbourhood Park



Feature tree - Cherry Tree (Spring)



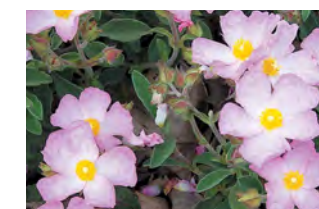
Feature tree - Cherry Tree (Autumn)



Specimen tree - Lime tree



Shrub Planting - Astilbe colour flash (summer)



Shrub Planting - Rock Rose (summer)



Shrub Planting - Rosa white 'max graf' (summer)

Street Design, Frontages and Boundaries

- Medium density 'connecting' residential areas taking reference from Duguid Street at Ian Johnston Park, Buckie
- Variety of dwelling types within a well-structured street scene providing direct access to the outer fringes of the new neighbourhood.
- Materials for this area are white render, with buff render or wet dash finish with timber and masonry accents.
- Boundaries within this area will be predominately formal hedges or low walls defining front gardens and front of plot subdivision as well as driveways.
- Front garden tree planting (low growing ornamental species) designed to soften the elevations/street-scene in contrast to integrated on street tree planting in other areas
- Green tree lined avenue with green verges, shrubs and trees connect pocket parks and green outer ring network of woodlands and amenity spaces. These will be formally structured and consistent in the tree types and sizes used to differentiate from other tree lined streets and create more impact.
- Natural surveillance and access to allotment gardens and community orchard.

9.0 Garden Villages



The Garden Village Character Area is located in 3 areas on the periphery of the new neighbourhood. These areas provide a natural setting where residents can enjoy the woodland planting, meadows and natural green edges to the development. Medium to low density housing provide active frontages to the green edges, with hedges defining private spaces and native trees and flowering shrubs of blues and white complementing the natural spirit of the character area. Existing burns and wet areas are integrated with the proposed SUDs creating areas where marginal planting encourages biodiversity and natural habitat. Open spaces connected by green travel links provide opportunities for relaxation and play.



Green Network Edge



Woodland Walks and Informal Paths



Tree lined street



Meadow Planting with Informal Paths

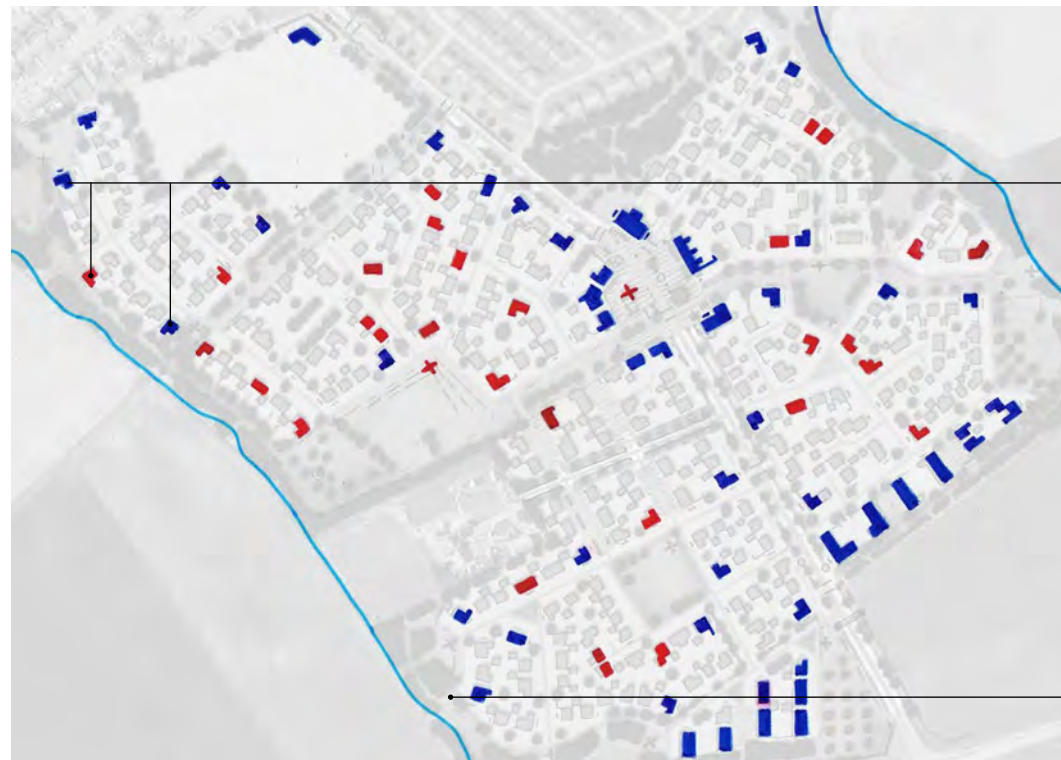


Natural Play of Western Edge



Encouraging biodiversity

9.0 Garden Villages



Urban Design Principles

■ Key Buildings ■ Vista Stoppers ✕ Key features & viewpoint locations



Frontages and Key Buildings

■ Key Frontages ● Key Corners/Buildings

Key Buildings and Vista Stoppers

- Key buildings and vista stoppers will include:

Key buildings and vista stoppers will have a materiality and colour or distinct location that makes it a standalone feature plot

Predominately 1 and 2 storey dwellings with key buildings finished with distinct contrasting materials such as grey anstone and pewter grey render.

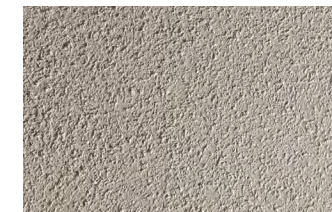
Detached and semi-detached houses with scope for cottage flats and apartment buildings at corners allowing natural surveillance to open spaces.

Lower density properties edging the character area providing a soft, overlooked interface with the countryside and the fully integrated woodland to be laid out as part of the Green Network.

Green 'Outer Ring' with informal path network providing opportunity for views to Bin Hill and surrounding countryside and coastline.



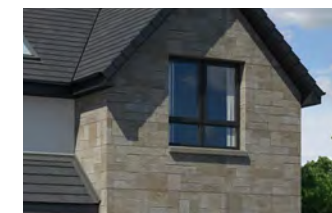
Sage green cedar cladding



Pewter grey render



Keyblok vintage burnt ochre



Grey anstone cladding



Seating and public art feature



Example of integrated traffic calming



Beech hedge (Summer)



Feature trees - Flowering Ash



Street trees - Norway Maple (Autumn)



Beech hedge (Autumn)



Shrub Planting - Lavender (summer)

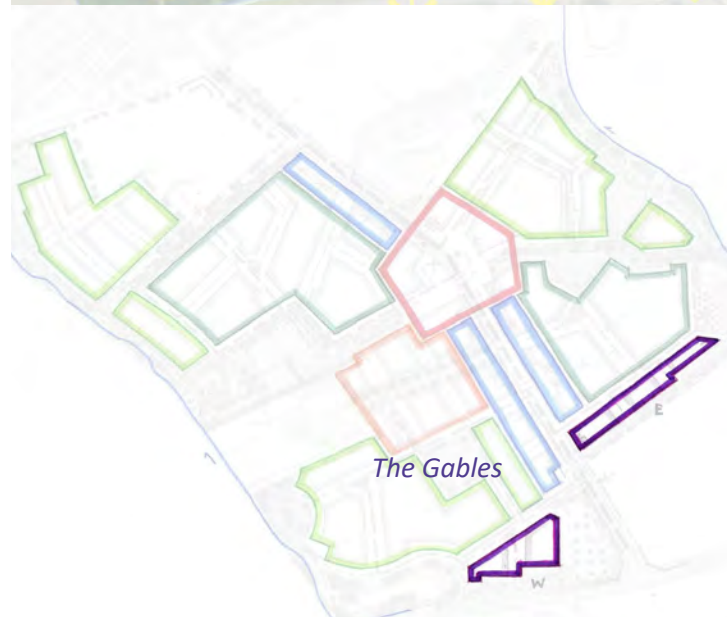


Shrub Planting - Cinquefoil (summer)

Street Design, Frontages and Boundaries

- The garden villages will create a 'Soft' edge to the wider neighbourhood, taking reference from Queen Street, Buckie.
- Accessible communal green network/open spaces and facilities close by.
- There will be a sense of community 'ownership' and informal 'surveillance' of the green 'outer ring' network with outward looking frontages.
- Mixed tenure homes and dwelling types fully integrated into the street scene.
- Suggested materials for this area are white, grey, buff render/wet dash finishes with green cedar and masonry accents
- More generous front cottage gardens and rear private gardens with soft focus communal gardens to apartments/cottage flats.
- Well-connected and accessible groups of homes set out across a range of streetscapes with integrated traffic calming designs designed to encourage community activities on street.
- Boundaries within this area will be predominately formal hedges to define front gardens, low to medium height with additional layers of front garden soft landscape features including low growing ornamental tree species and accent shrubs.
- Public art located in open spaces and green network.
- Variation in external doors (including garages) and window colours, including green doors for this character area.

9.0 The Gables



Historical Reference - Bridge Place, Yardie/Seatown

Visible from the A98 road, The Gables will provide a gateway feature to the south of the development. Medium to high density housing with 3 storey included to the east, the external materials will include masonry stone, with render and wet dash finish and feature gables of blue/ grey cladding taking reference from Buckie waterfront boathouses. The feature gable roof line will also reflect the nearby distillery pagodas. A community orchard will provide colour and interest at the junction with A96 on the east and structured planting along the southern boundary will provide a green edge to contrast with the gable features. Shrub and flower bed planting of bright purples and blue with contrasting wine shades will give depth to the character of the area and complement the blue/grey cladding.



Example of Gables



Example of Active Frontage



Orchard



Active frontage with tree lined street

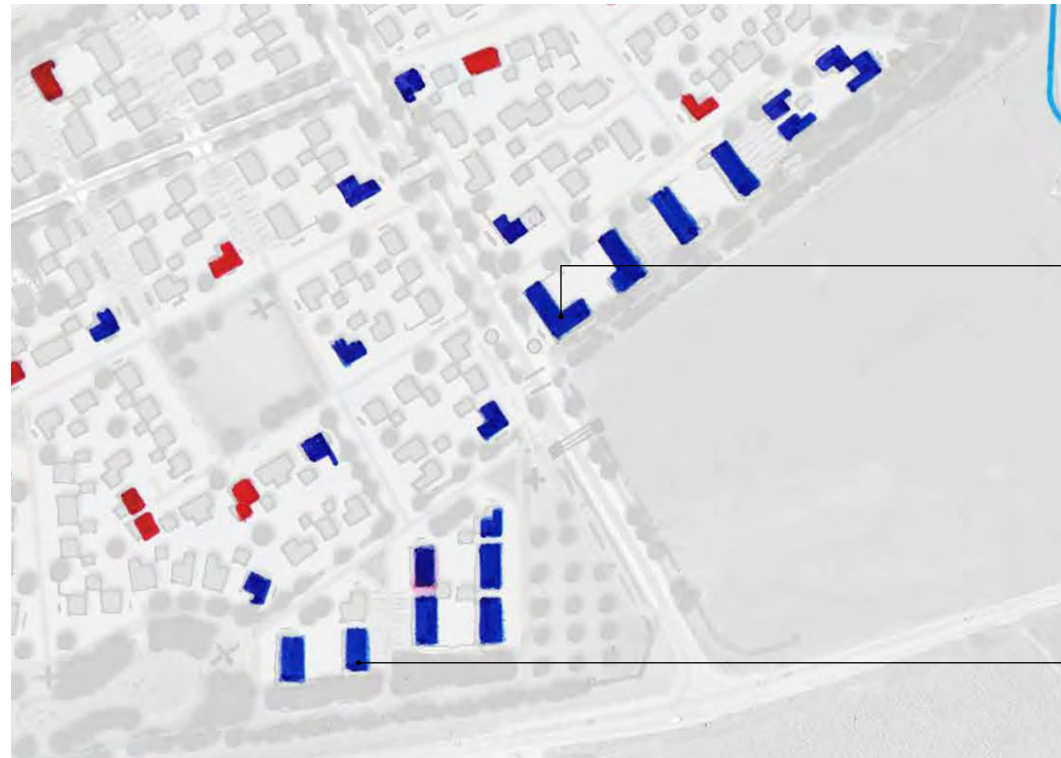


Tree lined street



Feature stone wall boundaries

9.0 The Gables



Urban Design Principles

Key Buildings Vista Stoppers Key features & viewpoint locations



Frontages and Key Buildings

Key Frontages Key Corners/Buildings

Key Buildings

- Key buildings will include:

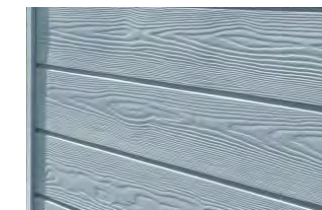
Southern medium to higher density gateway development to both 'Buckie South' and Buckie

Key corner buildings will have a 3 storey form to accentuate form and add varied streetscapes to the urban edge. Contrast of materials will add distinction from other buildings with various shades of blue and grey.

1.5 – 2 storey dwellings generally but scope for up to 3 storey gateway key building in the 'East Gables' development

Strong streetscapes created with terraces, semi detached and detached linked houses.

Outward looking development form shaped to enhance the gateway appearance to Buckie



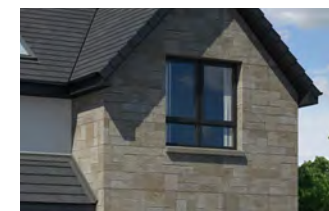
Blue cedar dominant cladding



Dark grey cedar cladding



Navy blue door



Grey stone walls



Charcoal grey paving



Grey windows



Privet hedge



Stone wall



Specimen tree - Lime tree



Specimen Tree - Hornbeam



Spring Planting - Allium purple sensation (summer)



Shrub Planting - Blue Hydrangea (summer)

Street Design, Frontages and Boundaries

- This area will create a defined gable edge to the south taking reference from the northern edge of Buckie, including Bridge Place, Yardie/ Seatown.
- Grid-like development forms set out with lanes in an essentially north-south access to help maintain visual connectivity to the wider landscape setting. Shared surface lanes serving dwellings allowing pedestrian priority.
- Dual aspect opportunities to overlook the southern Green 'Outer Ring' Network and take advantage of the sun path.
- Materials are masonry with white/grey render/wet dash accents and blue/grey cedar claddings to take reference from traditional Buckie waterfront boathouses and features within Inchgower Distillery.
- Boundaries within this area will be medium/high masonry/stone feature rear garden walls. These will be used to connect buildings along the southern boundary for privacy and/or noise attenuation. Walls associated with the Gables designed to visually connect with stone walls lining the Gateway to Buckie from the A98.
- Feature gable roof line to southern edge of The Gables to reflect the distillery pagodas.
- Narrow front gardens with scope for integrated off street parking courts and on street parking with potential future connectivity to the South.
- Variation in external door colour on key frontages using various shades of blue.

